



## Council questions and staff responses for items on June 12, 2023 City Council Meeting

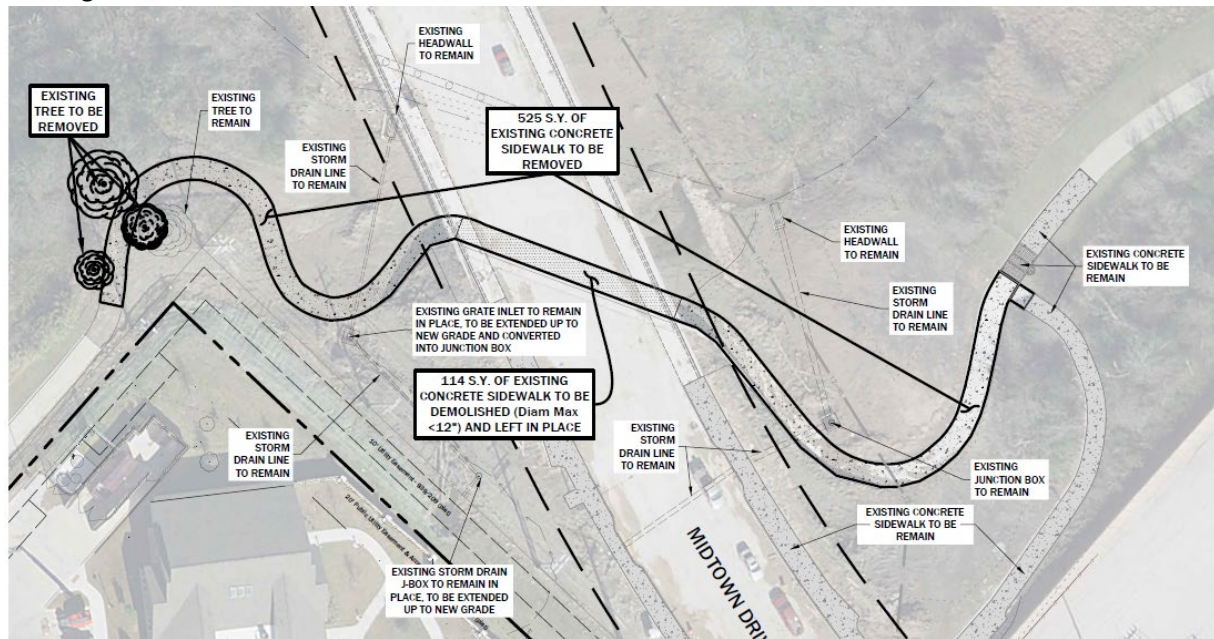
### 7.4- Lick Creek Hike & Bike Trail Improvement Project

**Sponsor:** Jennifer Cain

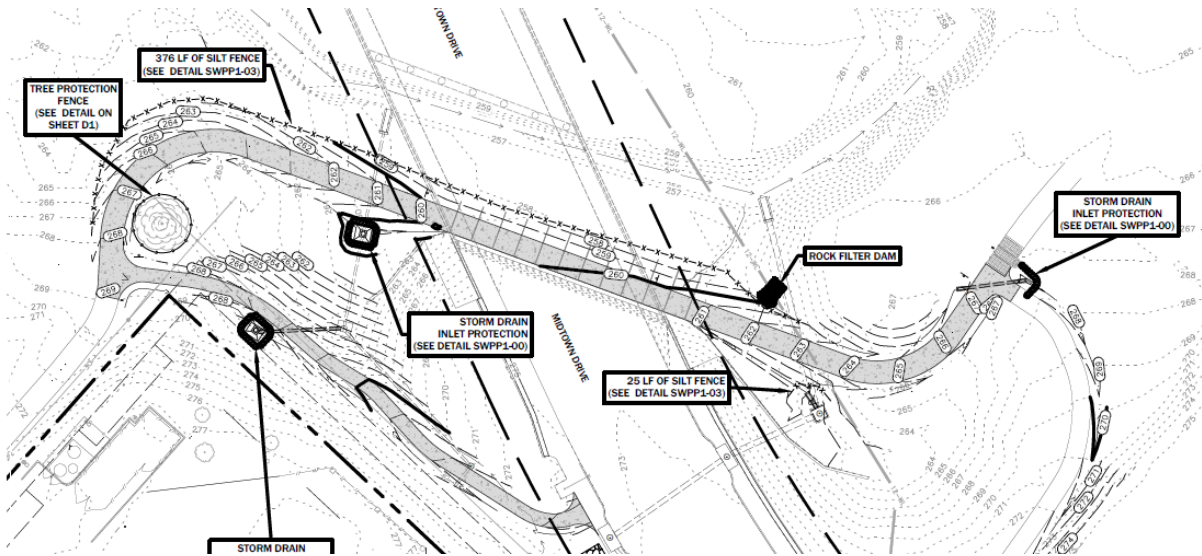
**Questions:** Does this scope of work include removal of the blind spots?

**Response:** Yes, the blind spots on both sides of the bridge will be removed. Please see existing and new sidewalk alignments below.

#### Existing Sidewalk



## New Sidewalk Alignment



**Question:** I notice we are paying \$13,520 to remove the old sidewalk, are we getting any of this reimbursed from the professionals that designed and installed the sidewalk that now must be removed?

**Response:** No.

**Question:** What is a wayfinding sign? I notice that while we can purchase and install a no parking sign for a few hundred dollars, this wayfinding sign is \$2000. What makes it so much more expensive than a no parking sign?

**Response:** Wayfinding signage typically is a custom designed directional sign. In this case, we are matching the existing wayfinding signs that were designed for the Lick Creek Hike and Bike Trail. The Hike and Bike trail signs are constructed out of steel. The post is galvanized box steel, while the wayfinding section is made from stainless steel. Below are the construction plans detailing the wayfinding signage for reference.





#### **8.4- Northeast Trunkline**

**Sponsor:** Jennifer Cain

**Questions:**

**1) Will the NE trunk line ultimately serve both Hensel Park and Century Square Phase II?**

**Response:** Yes

**2) Will the NE trunk line service anything else other than those two areas and if so, what or where?**

**Response:** Yes, sewershed map is below.



**3) Has a developer and General Contractor been specified for Hensel Park (TAMU?) and Century Square, Phase II?**

**Response:** Hensel Park development is currently in the conceptual master planning phase. Century Square Phase II has various general contractors and developers.

**4) have we levied any oversized participation fee or other fees relative to wastewater infrastructure on the afore-mentioned projects? Or are we taking on all of the wastewater infrastructure?**

**Response:** No, this CSU infrastructure. Any site-specific improvements are the responsibility of the developer. Utility rates and impact fees contribute to the development of regional infrastructure.

**5) Same questions from #4 above relative to other infrastructure, please? (Water, electricity, roadways, drainage, etc.?)**

**Response:** The city provides base infrastructure throughout the city funded through tax revenue, utility rates, impact fees and other fees. Developers are responsible for any site-specific improvements.

**6) Have we asked Texas A&M and/or their development partners to participate in any infrastructure development as we do on other projects?**

**Response:** No, developers including Texas A&M are not asked to directly contribute to or construct regional infrastructure. By state law, Texas A&M is not required to pay impact fees.

**7) To our general knowledge, do we ever ask Texas A&M or their quasi-public private partners to participate in infrastructure development, or do we generally take care of infrastructure to their point of service in the past?**

**Response:** Yes, we have had conversations about mutually beneficial development agreements. Generally, it is the city or utilities responsibility to bring infrastructure to the point of service within our jurisdiction or CCN.

**Recommendations of items to include in presentation:**

I am not sure what this presentation entails since there are no details in our packet, but I would really love a slide that has a table listing each of the route options on one axis and the other axis with labels like:

Total estimated cost

# of easements required

# of boring pits required

# of boring pits that would NOT be wholly contained in the roadway and would damage a yard

# of trees that would be removed

# of homes that would have construction on their property

# of months, approx., that a singular home would be impacted during construction

# of linear miles that would be under construction

**Response:** There is no presentation. This item has been placed on the agenda to allow for general project updates from staff, council discussion and citizen comments. A presentation regarding project specifics, recommendations, and a request for council direction will come at a later date.

### **9.5, 9.6, & 9.7-Vacating and Abandoning Easements and Right of Way**

**Sponsors:** Parker Matthews and Lucas Harper

**Questions: (Items 9.5 & 9.6)** When the city first acquired these easements and ROW, did the city pay for any of these accesses?

**Response:** The easements were dedicated by plat at no cost to the city.

**Question:** Are the applicants covering all the costs to the city of abandoning these accesses? What benefit to the city is there in abandoning easements and ROW?

**Response:** The applicant pays an application fee in order for the city to process the applications for abandonment. There is no additional cost to the city.

**Question:** What benefit to the city is there in abandoning easements and ROW?

**Response:** Easements are designated at the platting stage or with the installation of infrastructure in order to allow maintenance by the city. If the easement is not needed once an area is developed or infrastructure is removed, the easement should be abandoned. In many cases, the abandonment could lead to increased taxable value of the subject property due to expansion of a development or having more developable area by the property.

Abandonments of ROW provide the same benefit as mentioned above with the added benefit that it also removes a potential maintenance responsibility. In this specific example, it allows for the consolidation of properties to provide a large housing development with increased taxable value and additional housing options for citizens.

### **Questions: (Item 9.7)**

**Question:** When the city first acquired these easements and ROW, did the city pay for any of these accesses?

**Response:** The easement was dedicated by plat at no cost to the city. This abandonment relocates the existing easement, with the new easement being dedicated at no cost to the city.

**Question:** Are the applicants covering all the costs to the city of abandoning these accesses?

**Response:** The City of College Station is paying for the abandonment due to the abandonment being initiated by the city.

**Question:** What benefit to the city is there in abandoning easements and ROW?

**Response:** Benefits include reduction of maintenance and liability, and in this conditional abandonment, the City is obtaining an easement along the frontage of the property where it is needed by CSU, to allow for the provision of utility service.

